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Statement of Environmental Effects

Proposed dwelling additions and detached shed

Lot 14 DP 225020

401 The Lakes Way, Tuncurry

July 2025

Final

Prepared for

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1. INTRODUCTION

This Statement of Environmental Effects has been prepared in relation to proposed dwelling additions and detached shed on land at Lot 14 DP 225020, 401 The Lakes Way, Tuncurry.

The proposed development is local development and subject to assessment under Part 4 of the *Environmental Planning & Assessment Act 1979* (EP&A Act). The purpose of this Statement of Environmental Effects (SoEE) is to describe the proposed development and consider the potential environmental impacts of that development having regard to the matters for consideration under Section 4.15 of the EP&A Act.

1.1 Site Details

Address	401 The Lakes Way, Tuncurry
Lot / DP	Lot 14 DP 225020
Area	711.0m ²
Current Uses	Single storey dwelling
Local EPI	Great Lakes Local Environmental Plan 2014
Zoning	R2 – Low Density Residential

1.2 Site Description

The site is on the western side of The Lakes Way, approximately 175 metres north of the intersection with Chapmans Road, and is occupied by an existing weatherboard and fibro clad dwelling with a tile roof.

Dwellings occupy adjacent land to the north and south of the site. The rear (western) boundary adjoins a large residential allotment containing a single dwelling and ancillary structures, while land to the north-west contains a church building. Land to the east, on the eastern side of The Lakes Way, is vacant crown land.

A site locality map is at Figure 1.2.

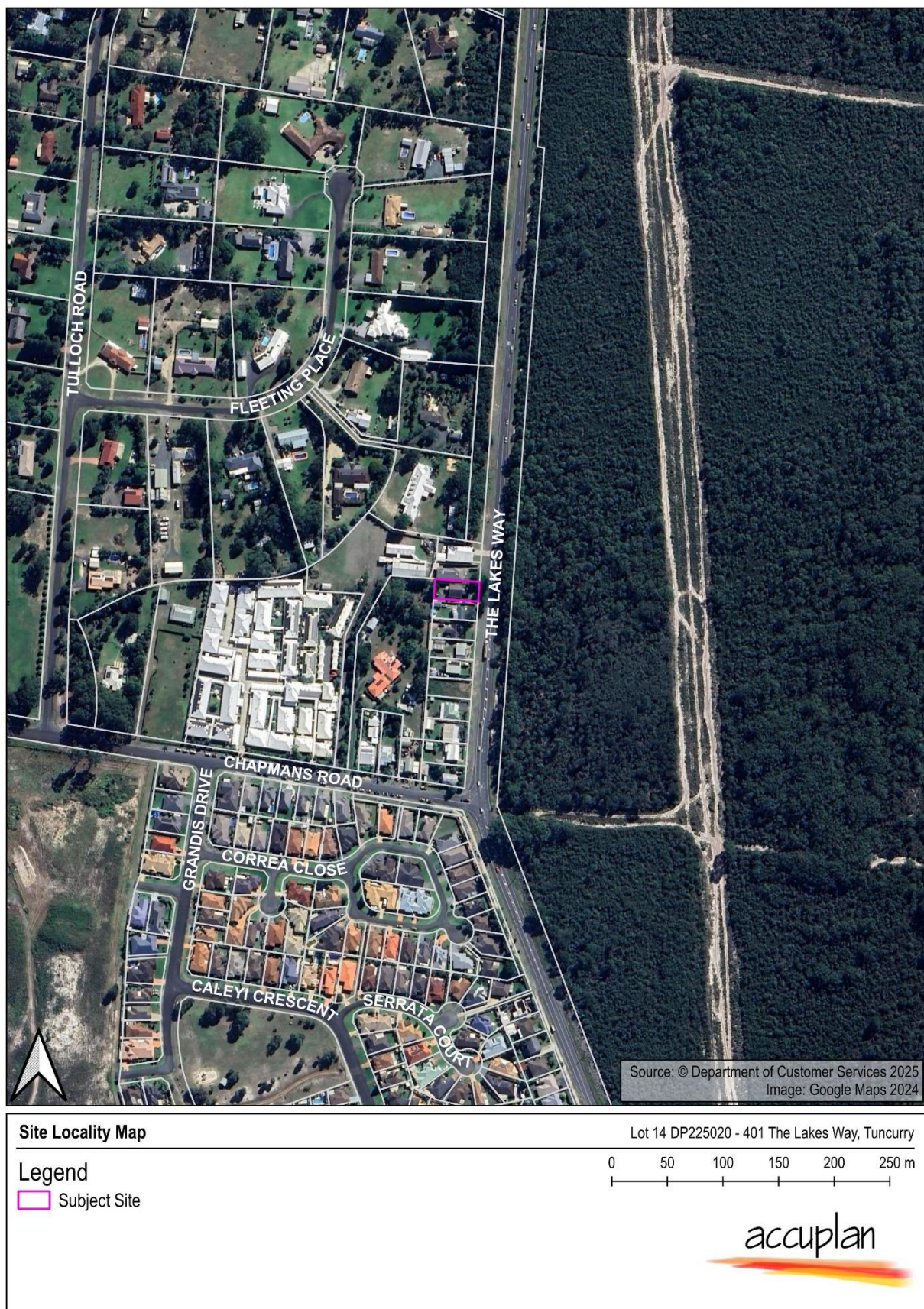


Figure 1.1: Site Locality

The following photos show the condition of the land and existing dwelling on the site.



Photo 1.1: Looking west toward the existing dwelling on the land from The Lakes Way



Photo 1.2: Looking north showing the location of the proposed timber deck and stairs



Photo 1.3: Looking south from the north-western (rear) corner of the site showing the existing tree to be removed and the location of the proposed shed



Photo 1.4: Looking west from the site frontage showing the location of the proposed shed in the western (rear) part of the site

1.3 The Proposed Development

The proposed development is the erection of an attached timber deck with gable roof over and timber stairs. The development also includes the erection of a detached shed with bathroom.

1.3.1 Deck

It is proposed to erect a deck and stairs extending from the northern end of the western (rear) elevation of the existing dwelling. The proposed deck will be constructed of timber framing with timber decking and balustrades, and colorbond sheet roofing.

The proposed deck will have dimension of 5 metres x 4 metres (approx. 20m²) and a floor level of 6.48m AHD to match the floor level of the existing dwelling. The deck therefore has a maximum elevation above ground level (existing) of approximately 1.98 metres and a maximum ridge height of 10m AHD.

1.3.2 Shed

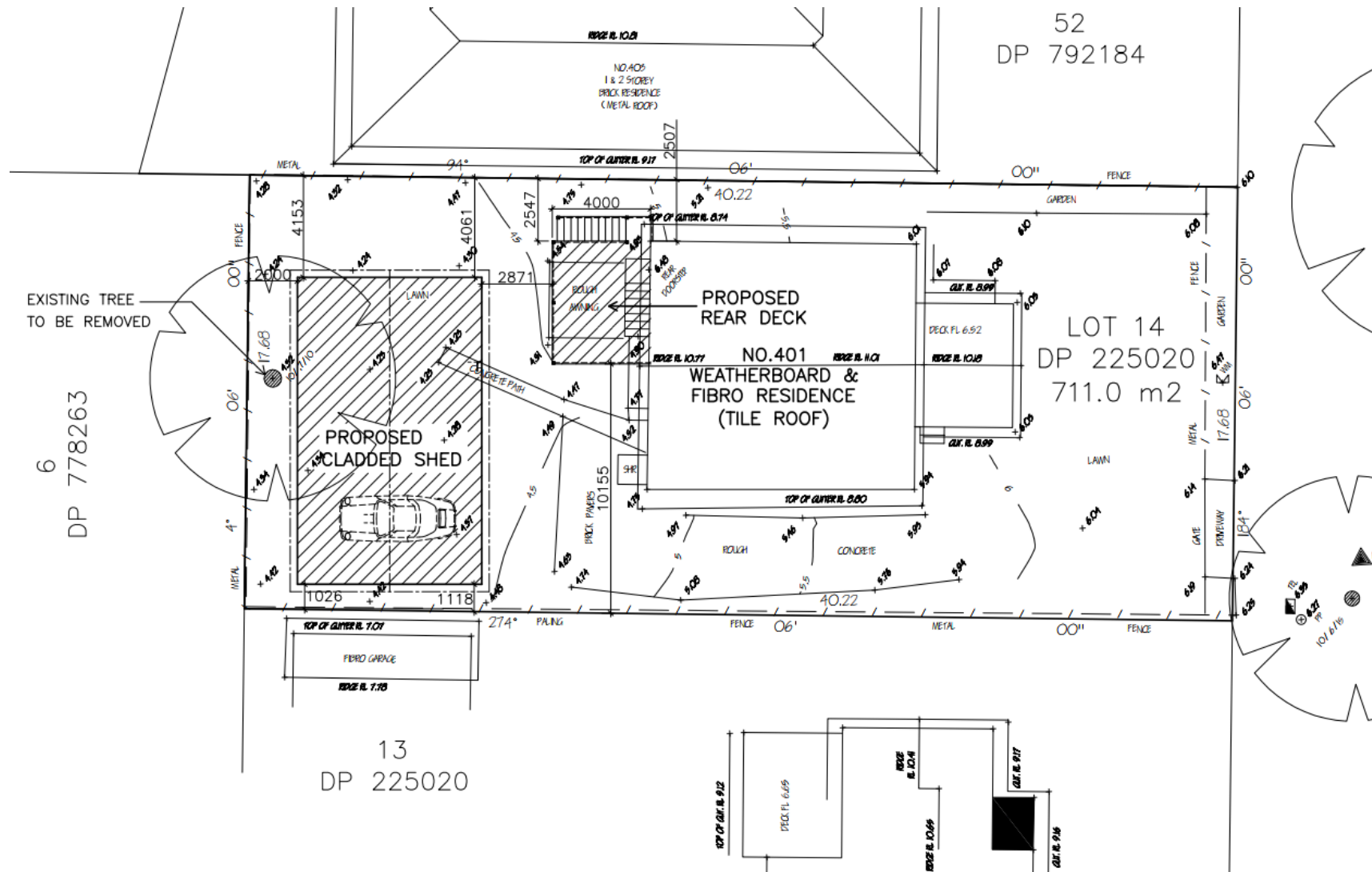
The proposed shed is to be located to the south-west of the existing dwelling, in the south-western corner of the land. The shed will have dimensions of 12.5 metres x 7.5 metres (approx. 93.7m²) inclusive of a bathroom that is proposed to be constructed in the north-western corner of the shed.

The shed is to be constructed using timber framing on a concrete slab with a Finished Floor Level (FFL) of 4.48m AHD. Walls will be constructed of light-coloured cladding and steel roof sheeting to match the general colour scheme of the existing dwelling.

Existing ground levels at the proposed shed site are between 4.24m and 4.48m, facilitating construction of the slab with only minimal earthworks for the purposes of leveling the shed site. One (1) tree is to be removed (Photo 1.3)

The proposal is shown on drawings by Cinz & JB 3D Drafting & Design (Job No: 2025-013), *Mr Stephen & Glenda Searles, 401 The Lakes Way, Tuncurry, Proposed Additions to Existing Clad Dwelling* (Revision A3 dated 30.05.2025, drawings no. A03.1-A03.8).

An extract of the site plan is at Figure 1.2.



2. PLANNING INSTRUMENTS

2.1 Great Lakes Local Environmental Plan 2014

The land within the site is zoned R2 Low Density Residential under the provisions of *Great Lakes Local Environmental Plan 2014* (LEP).

The proposed development is for structures and outbuildings that are ancillary to an existing dwelling on the site and is permitted with consent in the R2 zone.

Clause 2.3(2) of the LEP states that:

The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within the zone.

The objectives of the R2 zone are:

- *To provide for the housing needs of the community within a low-density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

The proposal is consistent with the relevant (first) objective of the R2 zone, being buildings and structures that are associated with the existing dwelling and provide for the housing needs of the community. The second objective is not relevant.

Table 2.1 provides a summary of the relevant development controls applying to the site.

Table 2.1: LEP Compliance Table

Development Control	Control	Comment
4.3 Height of Buildings	8.5 metres	The proposed covered timber deck has a height of 5.505 metres above ground level (existing). The proposed shed will have a height of approximately 4.64 metres above ground level (existing). Proposed building heights are less than the maximum height of building control in Clause 4.3 of the LEP.
4.4 Floor Space Ratio	0.5:1	The proposed deck is an open structure that is not defined as Gross Floor Area (GFA) for the purposes of calculating Floor Space Ratios (FSRs) under the LEP. The proposed shed will provide garaging for two (2) vehicles. There is no existing garaging on the site and the floor area

Development Control	Control	Comment
		<p>associated with car parking for two vehicles (36m²) is therefore not included in the calculation of GFA.</p> <p>The remaining floor area of the shed (57.7m²) may be included in the calculation of GFA. The existing dwelling has a GFA of approximately 110m² bringing the total FSR, inclusive of the GFA components of the shed, to approximately 0.25:1.</p>
5.21 Flood Planning	Consideration of objectives	Land within the site is not mapped as flood prone.
7.1 Acid Sulfate Soils	Class 4	<p>Land within the site is identified as containing Class 4 Acid Sulfate Soils. The proposed development will not involve excavation works greater than 2 metres below natural ground level and is unlikely to result in any lowering of the water table.</p> <p>An ASS management plan is not required.</p>
7.2 Earthworks	Consideration of objectives	Land within the site has a gradual slope from the front (eastern) part of the site towards the rear (western) part of the site. The plans do not indicate any cut and fill associated with the proposal except for minor excavation for footings.
7.5 Stormwater Management	Consideration of objective	It is understood that stormwater drainage from the existing dwelling is directed to a sub-surface infiltration system. The site has sandy soils and there are no apparent constraints that would inhibit the ability to alter or upgrade existing stormwater infiltration systems to receive stormwater from the proposed roof areas. It is expected that stormwater may be effectively managed through conditions of consent relating to the design and siting of stormwater infiltration systems.
7.21 Essential services	(a) the supply of water,	Reticulated water supply is available (and connected) to the site.
	(b) the supply of electricity,	Electricity supply is available (and connected) to the site.
	(c) the disposal and management of sewage,	The site is serviced by reticulated sewerage. The proposed shed is capable of draining sewerage toward the existing sewer junction at the south-western corner of the land.
	(d) stormwater drainage or on-site conservation,	Stormwater from new roof areas will be collected in roof guttering and directed to the existing or altered infiltration systems (subject to any conditions of consent).
	(e) suitable vehicular access.	An existing driveway provides vehicular access to the western(rear) part of the site and open car parking spaces at the southern side of the dwelling. The proposed shed will be accessed from the existing driveway.

2.2 Great Lakes Development Control Plan 2014

2.2.1 DCP Section 4 – Environmental Considerations

Section 4 of the DCP lists environmental considerations which may need to be addressed in the design of residential development.

Table 2.2 provides a summary of the environmental considerations.

Table 2.2: DCP Section 4 – Summary of Environmental Considerations

Clause	Consideration	Comment
4.1	Ecological Impacts	The site is an existing residential allotment and contains landscaped gardens. One tree located in the western part of the site is proposed to be removed to allow for construction of the proposed shed. The existing tree does not appear to have any important habitat values and removal is unlikely to have any notable impacts on fauna.
4.2	Flooding	The site is not mapped as flood prone.
4.3	Coastal Risk Planning Area	The site is not mapped as being in any Coastal Risk Planning Area.
4.4	Effluent Disposal	The site is serviced by reticulated sewerage.
4.5	Poultry Farms	N/A
4.6	Contaminated Land	The land is not known to be contaminated based on information available.
4.7	Bushfire	The site is mapped as bushfire prone land. A Bushfire Assessment report (ABAC, 2025) accompanies the Development Application.

2.2.2 DCP Section 5 – Single Dwellings, Dual Occupancies, Villas and Townhouses

Section 5 of the DCP outlines controls relevant to the proposal, summarised in Table 2.3.

Table 2.3: Single Dwellings, Dual Occupancies and Townhouses

DCP Section		Relationship of development to criteria
5.1	Solar Access and Overshadowing	<p><u>Deck</u></p> <p>The proposal will have no potential for overshadowing and/or solar access impacts on the adjoining land to the north.</p> <p>The proposed covered deck will be located approximately 10 metres from both the southern and western boundaries and therefore provides sufficient separation to mitigate any potential overshadowing impacts to open space and living areas of adjacent properties.</p> <p><u>Shed</u></p> <p>The proposed shed is located in the south-western (rear) part of the site, approximately 2 metres from the western boundary and 1 metre from the southern boundary. The closest building on the land to the west is approximately 50 metres from the subject site. Land adjoining the southern site boundary contains an existing shed located directly adjacent to the proposed shed.</p> <p>Any overshadowing of land to the south would be minor and at least two hours of sunshine would be maintained to the internal and outdoor living areas of the adjacent dwellings between 9.00 am and 3.00 pm on 21 June.</p>
5.2	Views and Privacy	<p>Views</p> <p>There are no significant views available to or from the site or surrounding area. The proposal will not have any impact on views.</p> <p>Privacy</p> <p>The proposed covered timber deck is located approximately 2.5 metres from the northern boundary. The dwelling on the land immediately adjoining the northern site boundary is two storey and includes two large windows and two smaller windows on the southern elevation at first floor level, which will result in some minor overlooking towards the proposed deck.</p> <p>The proposed deck will have an elevation of approximately 1.98m above ground level, presenting some potential for overlooking toward the neighbouring properties (although, overlooking to the west and south is mitigated by separation distances and the built form of the proposed shed).</p> <p>The deck will have an equivalent floor level to the existing dwelling/landing and, as detailed in Photo 1.2, will be positioned behind the rear building line of the adjacent dwelling to the north. Therefore, the position of the deck does not present opportunities for additional overlooking and privacy impacts in northern directions compared to the existing situation.</p>
5.3	Energy Efficiency	N/A
5.4	General Building Design	The proposed shed and deck are located in the western (rear) part of the site, behind the existing dwelling on the land, and will be constructed of new

DCP Section		Relationship of development to criteria
		<p>building materials The general design of the timber deck and shed is typical of other residential allotments in the locality.</p> <p>The proposed shed is located in the rear / western part of the site which has an elevation of approximately 2 metres lower than the street and the lower floor level of adjacent properties. The shed is not in close proximity to dwellings on adjoining land and is not expected to result in development that will dominate the streetscape or adversely affect adjoining owners.</p>
5.5	Setbacks	<p>The DCP provides that the minimum side setback required for the proposed deck is 0.9m.</p> <p>The proposed deck is setback 2.547 metres from the northern boundary with the timber staircase extending 1 metre further north toward the northern site boundary.</p> <p>As discussed above, the positioning of the deck does not result in potential for adverse privacy impacts to the north. The installation of privacy screening is not required in the circumstances.</p> <p>Setbacks for the proposed shed are discussed in Table 2.4 below.</p>
5.6	Building Heights	<p>The proposed timber deck, with roof over, has a height above ground level (existing) of 5.505 metres, which is less than the maximum 8.5m height of building control in Clause 4.3 of the LEP.</p> <p>The proposed shed will have a wall height of 3.8 metres and a height of approximately 4.648 metres to the top of the gable.</p>
5.7	Cut and Fill	<p>The plans do not indicate any cut and fill, or any significant earthworks associated with the proposal.</p>
5.8	Private Outdoor Areas	<p>The existing dwelling has a floor level that is elevated above natural ground and does not provide direct ground level access to POS in the rear yard. The proposed covered deck is directly accessible from the living areas of the existing dwelling, improving the functionality and usability of private outdoor areas, consistent with the controls and objectives of the DCP.</p>
5.9	Fencing & Walls	<p>The proposed development does not include any fencing or retaining walls.</p>

Table 2.4 below outlines the relationship between the proposed shed and the relevant controls/provisions of Section 5.10 of the DCP.

Table 2.4: Detached Garages, Carports, Sheds and other Outbuildings

DCP Section	Relationship of development to criteria
<p>1</p> <p><i>Maximum Floor Area</i></p>	<p>The DCP provides that, for sites with an area 600-900m², a detached shed is to have a maximum floor area of 60m². The maximum floor area for sites with an area of >900m² is 100m².</p> <p>The site has an area of about 711m², and the shed component of the proposed development will have a floor area of 93.7m².</p> <p>The proposal therefore results in a numerical variation to the development control of 33.7m².</p> <p>Despite the numerical control, the objective of the DCP provides that <i>“detached garages, carports and other outbuildings are located and designed so that they do not dominate the streetscape or adversely affect the adjoining properties”</i>.</p> <p>Streetscape</p> <p>The proposed shed is to be located in the western part of the site, behind the existing dwelling on the land. Views from the street to the shed are largely obstructed by the existing dwelling, with only a narrow view corridor available down the driveway at the southern side of the dwelling.</p> <p>The land in the western part of the site has natural ground levels that are approximately 2m lower than the front of the site, adjacent to The Lakes Way. The roof height of the shed will be approximately 9.1m AHD which is also approximately 2m lower than the ridge height of the existing dwelling. Therefore, siting the shed in lower areas of the site further mitigates any potential for visual impacts when viewed from the street.</p> <p>The proposed shed also incorporates exterior cladding which is consistent with the finish of the existing dwelling and characteristic of the exterior finish of dwellings in the locality. The design and exterior finishes of the shed maintain a consistent building character when viewed from the street and reduce the overall dominance of the shed in relation to existing dwellings on the site and surrounding lots.</p> <p>Adjoining Properties</p> <p>The proposed shed is sited in the south-western corner of the land, immediately adjacent to a fibro-clad outbuilding on the neighbouring land to the south at 399 The Lakes Way. The proposed shed maintains an equivalent alignment to the neighbouring outbuilding and is compatible with the development on that land.</p> <p>Land to the west of the site (9 Chapmans Road) is a large parcel of land zoned <i>R5 Large Lot Residential</i>. There are no buildings, areas of POS or other uses located adjacent to the western boundary of the site that could be impacted adversely by the siting or design of the proposed shed.</p> <p>The proposed shed is setback approximately 4m from the northern (side) boundary with the dwelling at 403 The Lakes Way. The siting / side setback maintains amenity of the neighbouring dwelling and minimises potential for any adverse impacts as a result of overshadowing, visual impacts or similar.</p>

DCP Section		Relationship of development to criteria
		The proposed design and siting of the shed therefore does not <i>dominate the streetscape or adversely affect the adjoining properties</i> . The proposal maintains consistency with the objectives of the DCP despite minor variations to the maximum floor area controls.
5	Front Setback	The proposed shed is situated behind the existing dwelling and >6m from the front boundary.
3	Secondary Setback	N/A
4	Side & Rear Setback	<p>The proposed shed has an external wall height of 3.8 metres.</p> <p>The DCP provides for a nominal minimum side and rear setback of 0.9 metres for sheds with a maximum wall height of 2.7 metres.</p> <p>Based on a 3.8 metre wall height, the side setback (to meet the numerical provisions in the DCP) would be 1.45 metres.</p> <p>The setbacks are as follows:</p> <ul style="list-style-type: none"> • 2.00 metres to the western (rear) site boundary • 4.061 metres to the northern (side) site boundary • 1.026 metres to the southern (side) site boundary <p>The proposal results in a minor variation to the side setback control to the southern site boundary with 399 The Lakes Way. As discussed above in relation to the DCP objectives, the proposed shed is sited adjacent to an existing (similar) shed on adjacent land to the south and does not have any potential to adversely affect adjoining properties as a result of the siting and design despite minor variations to side setback controls.</p>

2.2.3 DCP Section 10 – Carparking

The existing dwelling on the land currently does not have any covered parking. The proposed shed will bring the dwelling into compliance with the DCP by providing two covered parking spaces that are accessible via the existing driveway from The Lakes Way.

2.2.4 DCP Section 11 – Water Sensitive Design

Section 11.4.1.2 of the DCP outlines criteria where water quality improvement targets apply. The provisions of Section 11 of the DCP do not apply to alterations and additions to an existing dwelling.

3. LIKELY ENVIRONMENTAL, SOCIAL & ECONOMIC IMPACTS

The potential environmental impacts of the proposed development are considered in Table 3.1.

Table 3.1: Potential Environmental Impact Summary

Matter	Potential Impacts and Mitigation
Privacy	The proposal is unlikely to result in any adverse impacts in relation to either visual or acoustic privacy. The deck will have an equivalent floor level to the existing dwelling/landing and, as detailed in Photo 1.2, will be positioned behind the rear building line of the adjacent dwelling to the north. The position of the deck does not present opportunities for additional overlooking and privacy impacts in northern directions compared to the existing situation.
Views	There are no significant views to or from the site and/or other allotments in the locality. The proposed development does not have potential to result in view loss.
Soils	Land within the site is mapped as containing Class 4 Acid Sulfate Soils. The proposed development is unlikely to involve excavation works other than that required for footings/slabs for the proposed timber deck and shed and is unlikely to result in any lowering of the water table.
Bushfire	The land within the site is mapped as bushfire prone land for the purposes of Section 10.3 of the EP&A Act. A Bushfire Assessment Report (ABAC, 2025) accompanies the application. Recommendations include construction of the additions in accordance with AS3959-2018 <i>Construction of Buildings in Bushfire Prone Areas</i> .
Flooding	The site is not mapped as flood prone land.
Drainage	As alterations and additions, water sensitive design targets in Section 11 of the DCP do not apply. The site has sandy soils and there are no apparent constraints that would inhibit the ability to alter or upgrade existing stormwater infiltration systems to receive stormwater from the proposed roof areas. It is expected that stormwater may be effectively managed through conditions of consent relating to the design and siting of stormwater infiltration systems.
Flora & Fauna	Land within the site is clear of any significant vegetation. One tree located in the western part of the site is proposed to be removed to allow for construction of the proposed shed. The existing tree does not appear to have any important habitat values and removal is unlikely to have any notable impacts on fauna.
Aboriginal Cultural Heritage	The Due Diligence Code of Practice for the Protection of Aboriginal Objects in New South Wales (the Code) (DECCW, 2010) assists individuals and organisations to exercise due diligence when carrying out activities that may harm Aboriginal objects. A search of the Aboriginal Heritage Information Management System (AHIMS) indicates that there are no known records of Aboriginal sites or places on or near the subject site. Based on the disturbed nature of the site (being previously excavated land) and, in relation to the considerations in the Code, the presence of artefacts and/or sites of Aboriginal heritage value is unlikely.
Environmental Heritage	The site does not contain any listed and/or known items of environmental heritage.

Matter	Potential Impacts and Mitigation
Social and Economic	The proposed development represents an appropriate and efficient use of suitably located and zoned residential land. Social and economic impacts of the proposed development are likely to be positive.
Noise	The proposed development will not give rise to any noise impacts in addition to the existing residential use of the land. Construction noise impacts are capable of being mitigated through standard conditions of consent.
Access and Traffic	The proposed development will not increase any traffic generation from the site. Vehicular access to the site will remain unchanged with the existing driveway providing access to the proposed shed.

4. SUITABILITY OF THE SITE & THE PUBLIC INTEREST

The site is suitable for the proposed development and any natural hazards or other constraints are capable of being mitigated through conditions of consent. There are no issues associated with the proposal that would be contrary to the public interest.

5. CONCLUSION

The proposed development is for dwelling additions comprising the erection of a covered timber deck and a detached shed on land at 401 The Lakes Way, Tuncurry. The proposed development is consistent with the relevant objective of the R2 zone and is permissible with the consent of Council under relevant provisions of the *Great Lakes Local Environmental Plan 2014*.

The proposed development has been assessed in accordance with *Great Lakes Development Control Plan 2014* (DCP). The assessment has noted that the development is consistent with the relevant provisions of the DCP, except a for a variation to the maximum floor area for detached sheds, and the side setback controls. Despite the variation to those numerical controls, the proposal is consistent with the relevant objectives of Section 5.10 of the DCP.

The development is unlikely to have any significant adverse environmental impacts on the site or surrounding land having regard to the matters for consideration in Section 4.15 of the EP&A Act. Matters relating to stormwater disposal, tree removal and bushfire hazards may be effectively mitigated through conditions of consent. The site is suitable for the development and the proposal is consistent with the public interest.